

MEMORANDUM

October 5, 2016

TO: Landmarks Board

FROM: Lesli Ellis, Comprehensive Planning Manager
Debra Kalish, Senior Assistant City Attorney
Marcy Cameron, Historic Preservation Planner
James Hewat, Senior Historic Preservation Planner
William Barnum, Historic Preservation Intern

SUBJECT: Public hearing and consideration of a demolition permit application for the house located at 2334 14th St., a non-landmarked building over 50 years old, pursuant to Section 9-11-23 of the Boulder Revised Code (HIS2016-00191).

STATISTICS:

1. Site: 2334 14th St.
2. Date of Construction: c. 1900
3. Zoning: RMX-1
4. Existing House Size: 2,194 sq. ft. (approx.)
5. Lot Size: 6,016 sq. ft. (approx.)
6. Owner/Applicant: Alexander J. Brittin / Bob Von Eschen

STAFF RECOMMENDATION

The Planning, Housing and Sustainability (PH&S) staff recommends that the Landmarks Board adopt the following motion:

I move that the Landmarks Board issue a stay of demolition for the building located at 2334 14th St., for a period not to exceed 180 days from the day the permit application was accepted by the city manager, adopting the staff memorandum with the findings listed below, in order to further analyze information on the condition of the buildings.

A 180-day stay period would expire on January 29, 2017.

Should the board choose to issue the demolition permit, or if the permit is allowed to expire, staff recommends that prior to demolition the following be submitted to Planning, Housing and Sustainability (PH&S) staff for review, approval and recording with Carnegie Library:

1. A site plan showing the location of all existing improvements on the subject property; and
2. Color medium format archival quality photographs of the interior and exterior of the house.

EXECUTIVE SUMMARY

On June 17, 2016 the Planning Housing & Sustainability (PH&S) Department received a demolition permit application for the house at 2334 14th St. The building is not located within a designated local historic district but is over 50 years old. In 1988, the Landmarks Board recognized the building as a Structure of Merit. The proposed work meets the definition of demolition found in Section 9-16-1 of the Boulder Revised Code 1981. On June 29, 2016, the Landmarks design review committee (Ldrc) referred the application to the Landmarks Board for a public hearing, finding there was “probable cause to believe that the building may be eligible for designation as an individual landmark.”

PURPOSE OF THE BOARD’S REVIEW

Pursuant to section 9-11-23(d)(2), B.R.C. 1981, demolition requests for all buildings built prior to 1940 requires review by the Landmarks design review committee (Ldrc). The Ldrc is comprised of two members of the Landmarks Board and a staff member. If, during the course of its review, the Ldrc determines that there is “probable cause to consider the property may be eligible for designation as an individual landmark,” the issuance of the permit is stayed for up to 60 days from the date a completed application was accepted and the permit is referred to the board for a public hearing.

If the Landmarks Board finds that the building proposed for demolition may have significance under the criteria in subsection (f) of Section 9-11-23, B.R.C. 1981, the application shall be suspended for a period not to exceed 180 days from the date the permit application was accepted by the city manager as complete in order to provide the time necessary to consider alternatives to the building demolition. If imposed, a 180-day stay period would start when the completed application was accepted by the city manager (August 8, 2016, when the Landmarks Board fee was paid) and expire on January 29, 2016. Section 9-11-23 (g) and (h), B.R.C. 1981.

DESCRIPTION

The approximately 2,194 square foot brick terrace building sits on a 6,016 square foot lot, located on the east side of 14th St. between High St. and Mapleton Ave. The lot has a significant slope down towards the southwest and is located within the identified potential local and national Whittier Historic District. It was recognized as a Structure of Merit by the City of Boulder Landmarks Board on September 6, 1989 as a good surviving example of a turn of the twentieth-century Terrace Building.



Figure 1. Location Map showing 2334 14th St.



Figure 2. West Elevation (façade), 2334 14th St., 2016.

The Terrace building type, is a distinctive residential form of architecture quite common in Colorado at the turn of the twentieth century. Typical of the Terrace form, the building is rectilinear in plan, features a flat roof and a full-width front porch. The house is constructed of brick and features a tall parged stone foundation that has been

remodeled into a walk-in basement unit. The upper floor is divided into two identical units with mirrored floor plans and flanking front transom topped doors providing entrance from the front porch. Two large one over one, double-hung wood windows are located on either side of each door, each flanked by a single black wooden shutter. Access to the shed-roof porch is provided from the side (north) by a wooden stair with metal railing. The porch has been partially enclosed with plywood sheets and fabric awnings. Access to the basement unit is via two wooden doors at the base of the front façade, one of which appears to have been covered by a plywood panel.



Figure 3. East Elevation (rear), 2334 14th St., 2016.

The northeast (rear) elevation is covered by a deteriorating wooden frame addition, that is partially roofed with translucent plastic sheathing. The addition wraps approximately 26' along the southeast (side) elevation of the original brick building, forming a covered porch. The side door of the southeast unit opens into this porch, and this unit also has a door at its rear opening into the shed.



Figure 4. South Elevation, 2334 14th St., 2016.



Figure 5. North Elevation, 2334 14th St., 2016.

Window and door openings on the original portion of the house are crowned with segmentally arched brick voussoirs and visually supported by a protruding brick stretcher course which runs around the perimeter of the building. There are four

matching windows on each side elevation, three large double-hung wood windows and one small wood window near the rear. All of the front and side windows are supported by, now painted, sandstone sills. Two rear windows on the southeast side have been covered by the frame porch.



Figure 6. North Window, 2334 14th St., 2016.

The façade of the building's features ten courses of finely detailed decorative brickwork and projecting corner brick corbels. The brick walls are laid in stretcher bond, and have been painted white on all elevations, while the roof is clad in EPDM membrane roofing



Figure 7. Decorative parapet detail.

Alterations



Figure 8. 2338, 2334, and 2330 14th St., c. 1900. Photo courtesy of Boulder Public Library.



2338, 2334, and 2330 14th St., 2016.

In large, the house at 2334 14th Street is intact to its historic construction as evidenced in the c.1900 photograph (Figure 8). The most obvious changes to the building from this view are alterations to the front porch including relocation of the stair from the front, removal of the denticulated porch gable, and removal of decorative railing barge boarding.

Remodeling of the basement into a living unit appears to have occurred in two stages, with a bedroom added in 1947, followed by a kitchen the following year. A concrete footing was inserted under the foundation and the stone foundation parged with concrete in 1953, followed by the reconstruction of the front porch in 1956. In 1962, the building was re-roofed in shingles, which were replaced with the current EPDM roofing membrane in 1986.

At some point between 1979 and 1984, the wood frame shed was constructed behind the main house. The covered porch connecting the shed and main house was added sometime later. Since that time, the front porch has been haphazardly repaired with a mix of plywood and MDF panels, with its lower section being entirely enclosed. At least three original double-hung windows survive on the north elevation, while the two large hung windows on the front porch are also likely original. Several of the original sash have been replaced with wood windows in existing wood frames on the south face, though this appears to have occurred sometime ago. Evidently, two wood shutters which would have matched the single surviving shutter on each window were removed.

Condition

The applicant describes the condition of the building in a letter dated August 2, 2016. He states that the foundation and load bearing walls show significant lateral movement and cracking, such that the wall is over 6" offset from the foundation in some areas. All exterior window and door openings have structural failures requiring repair. Staff did observe deflection of the upper part of the south wall and some active structural cracking though it appears the observed deflection primarily occurred prior to the 1950s repairs.

The applicant observes that the foundation has many fractures through its stucco finish around the entire building perimeter and that wall movement has damaged plumbing and roof flashings, leading to interior water damage. Portions of the rubble stone foundation are spalling. Many of the materials used in the alterations to the front porch are not exterior-grade, and would require replacement. The porch roof has non-code compliant framing and wooden shingle cladding. See Attachment F: Applicant's Materials.

Cost of Repair or Restoration

In a set of condition photos submitted to city staff, the applicant provides an estimated cost of repair for the foundation to be \$233,588. See Attachment F: Applicant's Materials.

Structure of Merit Recognition

The Landmarks Board recognizes buildings and sites that have architectural and/or historic merit as Structures of Merit. Properties are either nominated by the property

owner or by the Landmarks Board. Structure of Merit recognition is honorary and does not provide protection or regulation. See Attachment G: Structure of Merit Records.

Following the historic building inventory survey of the Whittier neighborhood in 1988, the Landmarks Board recognized seventeen identified terrace style buildings in Boulder, including the building at 2334 14th St., as Structures of Merit. Two buildings, 2010-14 19th St. and 1911-15 Pearl St., have been individually landmarked. Two others, 2535-37 5th St. and 1815-21 17th St., are located within the boundaries of local historic districts. The terrace building at 1433-35 13th St. was demolished since 1989.

The 1988 Landmarks Preservation Advisory Board Memo includes the following description of 2334 14th St.

Address: 2334-36 14th St.

Architectural Significance: Brick construction, duplex with a shared porch covered by a lean-to roof supported by wood columns Segmentally arched window and door openings. Corbelled brick cornice with corner brick finials.

1929

Assessor Card: Owner A.H. and Beatrick Mae Dean

Lot 2 less 40 ft and 30 ft Lot 3, Block 10, North

Brick, stone foundation, $\frac{3}{4}$ basement, later $\frac{1}{2}$ tar and gravel roof, soft floors, plaster interior no garage

Dimensions: 30 x 47 $\frac{1}{2}$

Front porch remodeled on 5/29/1957

One bedroom each side.

Occupants

1913 City Directory

2334 Paul H. Noah (Kathryn R.)

2336 C.F. Seitz (Nellie O.) Boulderado Cleaning and Pressing and Seitz Bros.



Jennie P. and Charles Russell, N.D. Photo Courtesy of Boulder Carnegie Library.

PROPERTY HISTORY

This Terrace Duplex was part of a complex known as Luxor Terrace Apartments, built by prominent Boulder pioneer and civil engineer Charles A. Russell.¹ He was born in Sommerville, Massachusetts on November 9, 1850² earned a Bachelor of Arts from Tufts College in Massachusetts in 1872, and earned a degree in civil engineering in 1873.³ For the next decade he worked for the United States Coastal Survey Department conducting survey work along the east coast and along the lower reaches of the Mississippi River.⁴ He moved to Boulder in 1883,

where he met and married Jennie Phelps, a schoolteacher, in 1888.⁵

Jennie Phelps Russell, daughter of Henry Phelps, born on August 7, 1856.⁶ She moved to Boulder in 1882 after being impressed by the city while visiting her sister, and soon obtained a position as a schoolteacher. Her husband, Charles, continued his career in civil engineering in Boulder, holding city and county engineering positions and becoming deputy United States Mineral Surveyor for the Boulder district, as well as serving on the Boulder City Council for many years.⁷ He also founded the Boulder Pressed Brick Company and was involved in platting the North Boulder Addition to Boulder.⁸ Jennie Russell's obituary notes that, "Shortly before his death Mr. Russell built 3-double brick terraces on 14th Street near High which Mrs. Russell has been managing since."⁹ Charles Russell died on August 6, 1900, at the age of 49, due to complications from an appendectomy.¹⁰ This places the construction of this house, and its twin, 2030

¹ Daily Camera, "Mrs. Jennie Russell, Pioneer of Boulder, Dies this Morning." June 21, 1934; Boulder Herald, "C. A. Russell's Death." August 8, 1900.

² Boulder Herald.

³ Ibid.

⁴ Ibid.

⁵ Ibid.; Daily Camera, June 21, 1934.

⁶ Daily Camera, June 21, 1934.

⁷ Ibid.

⁸ Ibid.

⁹ Ibid.

¹⁰ Boulder Herald.

14th St., around late 1899-early 1900. It is very likely they are constructed with brick from Russell's own brickyard located nearby. The address first appears in the city directories in 1901, when Ira D. and Callie E. Scott were the listed residents. Ira was a dentist. Jennie Russell continued to oversee the apartments until her death on June 21, 1934. Through this time, city directories show the property occupied by a variety of short-term, rental occupants, none of whom remained at the property for more than five years.

Austin Phelps Russell, Jennie and Charles' son, took over the property upon his mother's death. Born in Boulder in 1892, he attended Boulder public schools and the University of Colorado, from which he graduated with an engineering degree in 1913.¹¹ He launched his engineering career by working as an assistant engineer with the Mount Whitney Power and Electric Co. in Viscalia, California, before becoming a ranger and surveyor for the U.S. Forestry Service in Colorado and Wyoming.¹² He served with the 23rd engineers during the First World War, and saw action in the 1918 Argonne offensive which ended the war.¹³ Following Armistice, he again worked for the United States Forest Service and as a city engineer for Rock Springs, Wyoming, before being appointed assistant state engineer of Wyoming in 1939, moving to Cheyenne to accept the position.¹⁴ He sold the property at 2334 14th St. to Leonard N. and Marine L. Blystad in 1944, and died in Cheyenne at the age of 60 on January 21, 1952.¹⁵

The property then changed hands six times between 1944 and 1946, before it was purchased by Warren E. and Myrtle S. Nord in 1949. During this time, the lower unit was renovated into a third living space, with a bedroom added in 1947 followed by a kitchen in 1948. The Nords sold the property to Alton H. and Beatrice M. Dean in 1958, who owned the property until 1967, when H. M. and F. E. Doty acquired it. They in turn sold it to Wesley E. and Janine R. Brittin in 1976, whose family trust granted the property to its current owner, Alexander J. Brittin, in 2016. Through all these owners, city directories indicate the property remained an apartment triplex, and was rented out to a variety of short-term rental residents, ranging from chemical plant workers, to university students, to retirees.¹⁶

¹¹ Boulder Daily Camera, "Austin P. Russell, Wyoming Engineer, Dies in Cheyenne"

¹² Ibid.

¹³ Ibid.

¹⁴ Ibid.

¹⁵ Ibid.

¹⁶ Boulder County Public Records; Polk Boulder City Directories.

CRITERIA FOR THE BOARD'S DECISION:

Section 9-11-23(f), B.R.C. 1981, provides that the Landmarks Board "shall consider and base its decision upon any of the following criteria:

- (1) The eligibility of the building for designation as an individual landmark consistent with the purposes and standards in Sections 9-11-1 and 9-11-2, B.R.C. 1981;
- (2) The relationship of the building to the character of the neighborhood as an established and definable area;
- (3) The reasonable condition of the building; and
- (4) The reasonable projected cost of restoration or repair.

In considering the condition of the building and the projected cost of restoration or repair as set forth in paragraphs (f)(3) and (f)(4) ..., the board may not consider deterioration caused by unreasonable neglect.

As detailed below, staff considers this property potentially eligible for designation as an individual landmark, however, additional time is needed to consider the information on the condition and estimated cost of restoration or repair of the building.

CRITERION 1: INDIVIDUAL LANDMARK ELIGIBILITY

The following is a result of staff's research of the property relative to the significance criteria for individual landmarks as adopted by the Landmarks Board on Sept. 17, 1975.

See Attachment E: Individual Landmark Significance Criteria

HISTORIC SIGNIFICANCE:

Summary: The house located at 2334 14th St. meets historic significance under criteria 1, 2, 3, 4 and 5.

1. Date of Construction: c. 1900

Elaboration: This house was likely constructed shortly before its builder's death in 1900, making it a significantly early addition to this area of Boulder.

2. Association with Persons or Events: Charles A. Russell

Elaboration: This house was built by Charles A. Russell, a prominent local engineer, industrialist, and citizen who served as the deputy United States Mineral Surveyor for the district, served on the city council for several years, and founded the Boulder Pressed Brick Company.

3. Development of the Community: Early multifamily rental complex

Elaboration: This house was constructed as part of a complex of three rental properties built c. 1900, making it both an early development in North Boulder and an unusually early example of the rental-focused properties that would eventually become common in Boulder.

4. Recognition by Authorities: Boulder Survey of Historic Places, 1988; City of Boulder

Elaboration: In the 1988 survey, Front Range Research Associates, Inc. noted that, despite moderate alterations, the house retains enough significance to be contributing to the Whittier potential historic district. On September 6, 1989, it was designated a Structure of Merit by the City of Boulder's Landmarks Preservation Advisory Board, as a significant example of early multifamily housing.

ARCHITECTURAL SIGNIFICANCE:

Summary: The house located at 2334 14th St. meets historic significance under criteria 1, 2, 4, and 5.

1. Recognized Period or Style: Terrace

Elaboration: Terrace s brick houses are an uncommon typology, mostly unique to Colorado. Despite its remodel from a duplex to a triplex and changes to the front porch and a rear addition, it retains substantial historic integrity surviving as a significant example of Terrace housing in Boulder .

2. Architect or Builder of Prominence: Charles A. Russell

Elaboration: This house survives intact as part of a rental complex constructed by prominent Boulder citizen Charles A. Russell in about 1900.

3. Artistic Merit: The brickwork including decorative brickwork, corbels, finials, parapet and running brick course reflect a high level of masonry craftsmanship.

4. Example of the Uncommon: Terrace Style

Elaboration: The Terrace House is relatively uncommon, though distinct variant of architecture in Boulder, and characteristic of like houses constructed at the beginning of the 20th century in Colorado.

5. Indigenous Qualities: Locally made brick

Elaboration: Charles A. Russell, who built this house, was also the founder and proprietor of the Boulder Pressed Brick Company. It is very likely that he used brick from his yard in the construction of this house and its twin at 2330 14th St.

ENVIRONMENTAL SIGNIFICANCE:

Summary: The house located at 2334 14th St. meets environmental significance under criteria 2, 4, and 5.

1. **Site Characteristics:** None observed

2. **Compatibility with Site:** Well-scaled and appropriate to site

Elaboration: This 2,194 square foot house is appropriately scaled to its 6,016 square foot lot, and allows three family occupancy while retaining a substantial street setback and sizable back yard.

3. **Geographic Importance:** None observed

4. **Environmental Appropriateness:** Rental complex.

Elaboration: This house was built as part of a three building rental complex along with the house at 2340 14th and the house at 2330 14th, which is a twin of this building. The survival of all three in a relatively intact state adds to their significance as part of a historically significant early rental complex in North Boulder.

5. **Area Integrity:** Whittier Potential Historic District

Elaboration: The 1988 historic resources survey found that this house is contributing to the character of a potential historic district in the Whittier neighborhood.



CRITERION 2: RELATIONSHIP TO THE CHARACTER OF THE

NEIGHBORHOOD: The Whittier neighborhood is characterized by small, single family or duplex residential houses dating to a variety of periods, with the majority constructed c. 1890-1930. This building contributes to this small scale residential character.

CRITERION 3: CONDITION OF THE BUILDING

The applicant notes that the rubble stone foundation of this building is unstable, and its movement has caused severe structural damage to the masonry and has severed drains and plumbing connections. He further notes that many materials used on the rear

shed and front porch are non-code compliant and not exterior grade, and will thus require replacement. See Attachment F: Applicant's Materials.

CRITERION 4: PROJECTED COST OF RESTORATION OR REPAIR:

The applicant estimates that foundation repairs will cost \$233,588. See Attachment F: Applicant's Materials.

NEIGHBORHOOD COMMENT:

Staff has received no comment to date from the public on this matter.

THE BOARD'S DECISION:

If the Landmarks Board finds that the building to be demolished does not have significance under the criteria set forth in section 9-11-23(f), B.R.C. 1981, the city manager shall issue a demolition permit.

If the Landmarks Board finds that the building to be demolished may have significance under the criteria set forth above, the application shall be suspended for a period not to exceed 180 days from the date the permit application was accepted by the city manager as complete in order to provide the time necessary to consider alternatives to the demolition of the building. Section 9-11-23(h), B.R.C. 1981. A 180-day stay period would expire on January 29, 2016.

FINDINGS:

Staff recommends that the Landmarks Board adopt the following findings:

A stay of demolition for the building at 2334 14th St. is appropriate based on the criteria set forth in Section 9-11-23(f), B.R.C. 1981 in that:

1. The property may be eligible for individual landmark designation based upon its historic and architectural significance;
2. The property contributes to the character of the neighborhood as an intact representative of the area's past;
3. It has not been demonstrated to be impractical or economically unfeasible to rehabilitate the building.

ATTACHMENTS:

- Attachment A: Current Photographs
- Attachment B: Boulder County Tax Assessor Card c. 1946
- Attachment C: Historic Building Inventory Form
- Attachment D: Deed & Directory Research
- Attachment E: Significance Criteria for Individual Landmarks
- Attachment F: Applicant Materials
- Attachment G: Structure of Merit Materials

Attachment A: Current Photographs



View from 14th Street, 2016.



West (front) elevation, 2016



Northwest corner, 2016



North (side) elevation, 2016



East (Rear) elevation, 2016



South (side) Elevation, 2016



Attachment C: Historic Building Inventory Form

COLORADO HISTORICAL SOCIETY
Office of Archaeology and Historic Preservation
1300 Broadway, Denver, Colorado 80203

HISTORIC BUILDING INVENTORY RECORD

978
: NOT FOR FIELD USE :
: ☐ Eligible ☐ Nominated :
: ☐ Det. Not Eligible ☐ Certified Rehab. :
: Date _____ :

PROJECT NAME: Boulder Survey of Historic Places, 1988	CITY: Boulder	STATE ID NO.: 58L2036	TEMPORARY NO.: Not applicable
CURRENT BUILDING NAME:	OWNER: Janine and Wesley Brittin 2425 Vassar Dr. Boulder, CO 80303		
ADDRESS: 2334-36 14th St. Boulder, Colorado 80302	TOWNSHIP 1 N., RANGE 70 W., SECTION 30, 1/4, 1/4		
HISTORIC NAME:	U.S.G.S. QUAD NAME: Boulder, Colorado (1966; photorevised 1979)		
DISTRICT NAME: Not applicable	ADDITION: Boulder North BLOCK: 10 LOTS: 2-3	YEAR: 1873	
FILM ROLL NO.: 8L-6 BY: Roger Whitacre	NEGATIVE NO.: 34 NEGATIVE LOCATION: City of Boulder Planning	DATE OF CONSTRUCTION: ESTIMATE: Ca. 1900 ACTUAL: SOURCE: Boulder County Assessor records	
ATTACH PHOTOGRAPH HERE.		USE: PRESENT: residence HISTORIC: residence	
		CONDITION: [] EXCELLENT [x] GOOD [] FAIR [] DETERIORATING	
		EXTENT OF ALTERATIONS: [] MINOR [x] MODERATE [] MAJOR DESCRIBE: Painted brick; stucco; new basement level; porch alterations; aluminum screen doors.	
STYLE: Terrace	STORIES: 1	ORIGINAL SITE [x] MOVED [] DATE(S) OF MOVE:	
MATERIALS: Brick	SQ. FOOTAGE: 2194	FIELD ASSESSMENT: [] ELIGIBLE [x] NOT ELIGIBLE	
ARCHITECTURAL DESCRIPTION: Brick terrace which has been remodeled to add basement level units. Originally featured porch with central entrance (see 2330-32 14th St.). Flat roof. Brick corbelling. Center doors with transoms. Double-hung windows next to doors. Segmental arched windows on sides.		DISTRICT POTENTIAL: [x] YES [x] CONTRIBUTING [] NO [] NON-CONTRIBUTING	
		LOCAL LANDMARK DESIGNATION? [] YES [x] NO NAME: DATE:	
		ASSOCIATED BUILDINGS? [] YES [x] NO TYPE:	
ADDITIONAL PAGES: [] YES [x] NO		IF INVENTORIED, LIST ID NOS.:	

PLAN SHAPE:	ARCHITECT: Unknown	STATE ID NUMBER: 58L2036
	SOURCE:	ORIGINAL OWNER: Unknown
		SOURCE:
	BUILDER/CONTRACTOR: Unknown	
	SOURCE:	THEME(S): The Urban Frontier (1860-1920)
CONSTRUCTION HISTORY: (DESCRIPTIONS, NAMES, DATES, ETC. RELATING TO MAJOR ADDITIONS OR ALTERATIONS TO ORIGINAL STRUCTURE)		
CONTINUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
HISTORICAL BACKGROUND: (DISCUSS IMPORTANT PERSONS AND EVENTS ASSOCIATED WITH THIS STRUCTURE)		
<p>In 1900, John Ivey, a policeman, lived here. Ivey was born in England in 1858. His wife, Bertha, was born in England in 1861. Bertha was the daughter of Robert Grigg, a miner at Gold Hill.</p> <p>In 1913-1914, Paul H Noah lived here.</p>		
CONTINUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
SIGNIFICANCE: (CHECK APPROPRIATE CATEGORIES AND BRIEFLY JUSTIFY BELOW)		
ARCHITECTURAL SIGNIFICANCE:	HISTORICAL SIGNIFICANCE:	
<input type="checkbox"/> REPRESENTS THE WORK OF A MASTER	<input type="checkbox"/> ASSOCIATED WITH SIGNIFICANT PERSONS	
<input type="checkbox"/> POSSESSES HIGH ARTISTIC VALUES	<input type="checkbox"/> ASSOCIATED WITH SIGNIFICANT EVENTS OR PATTERNS	
<input checked="" type="checkbox"/> REPRESENTS A TYPE, PERIOD, OR METHOD OF CONSTRUCTION	<input type="checkbox"/> CONTRIBUTES TO AN HISTORIC DISTRICT	
STATEMENT OF SIGNIFICANCE: This residential structure is an example of a small terrace which has been remodeled to accommodate more dwelling units.		
CONTINUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
REFERENCES: (BE SPECIFIC) Boulder County Assessor records; Sanborn insurance maps; Boulder City Directory, 1913-1914; and Boulder Genealogical Society, Index to U. S. Census of Population, 1900.		
CONTINUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
SURVEYED BY: L. Simmons/C. Whitacre	AFFILIATION: Front Range Research Associates Inc.	DATE: June 1988



Photo from Historic Building Inventory Record, 1988.

Attachment D: Deed & Directory Research

Owner (Deeds)	Date	Occupant(s)/Directory
Jennie P. Russell	1901	Ira D. (Callie E.) Scott, dentist
	1903	Mrs. Cooper
	1904	Not Listed
	1906	
	1911	Francis J. Reinert
	1913	P. H. Noah
	1916	H. W. Berkley
	1918	Myron Silcott
	1921	Arthur Brubaker
	1923	Mrs. Anna Zuckerman
	1926	Not Listed
	1928	A. J. Schafer
	1930	Vacant
	1932	Charles P. Stockdale
Austin P. Russell	1936	John P. (Eva A.) Bennet
	1938	
	1940	Vacant
	1943	Vacant
Leonard N. and Marie L. Blystad (2/23/44); Albert B. and Maude F. Pace (7/21/44); Charles W. V. Feigel (7/22/44)	1944	
Jack B. and Ruth G. Fawcett (2/4/46); Charles and Pearl Thornburgh (7/26/46); Harry V. and Fern E Gillette (11/12/46)	1946	Edward B. McBride (Wilma S.) Plant Manager, Watts-Hardy Dairy
	1949	Eugene L. Nookel
Warren E. and Myrtle S. Nord	1950	
	1951	Marvin F. Boone (Patricia A.)
Lloyd E. and Anna E. Bussert	1954	
	1955	Kenneth L. Ingram (Betty K.) Student, U of C
Tom C. Stanford (4/26/58); Alton H. and Beatrice May Dean (7/25/58)	1958	
	1960	Daniel J. McGrew (Carolyn S.), Manager Parkway Service
	1965	Joel Johnson, Retired
H. M. and F. E. Doty	1967	
	1970	Ronald I. Shall (Jem), Employee Arapahoe

		Chemicals
Wesley E. and Janine R. Brittin	1976	
Alexander J. Brittin	2016	

Attachment E: Significance Criteria for Individual Landmarks

SIGNIFICANCE CRITERIA

Individual Landmark

September 1975

On September 6, 1975, the City Council adopted Ordinance #4000 providing procedures for the designation of Landmarks and Historic Districts in the City of Boulder. The purpose of the ordinance is the preservation of the City's permitted cultural, historic, and architectural heritage. The Landmarks Board is permitted by the ordinance to adopt rules and regulations as it deems necessary for its own organization and procedures. The following Significance Criteria have been adopted by the board to help evaluate each potential designation in a consistent and equitable manner.

Historic Significance

The place (building, site, area) should show character, interest or value as part of the development, heritage, or cultural characteristics of the community, state or nation; be the site of a historic, or prehistoric event that had an effect upon society; or exemplify the cultural, political, economic, or social heritage of the community.

Date of Construction: This area of consideration places particular importance on the age of the structure.

Association with Historical Persons or Events: This association could be national, state, or local.

Distinction in the Development of the Community of Boulder: This is most applicable to an institution (religious, educational, civic, etc) or business structure, though in some cases residences might qualify. It stresses the importance of preserving those places which demonstrate the growth during different time spans in the history of Boulder, in order to maintain an awareness of our cultural, economic, social or political heritage.

Recognition by Authorities: If it is recognized by Historic Boulder, Inc. the Boulder Historical Society, local historians (Barker, Crossen, Frink, Gladden, Paddock, Schooland, etc), State Historical Society, The Improvement of Boulder, Colorado by F.L. Olmsted, or others in published form as having historic interest and value.

Other, if applicable.

Architectural Significance

The place should embody those distinguishing characteristics of an architectural type specimen, a good example of the common; be the work of an architect or master builder, known nationally, state-wide, or locally, and perhaps whose work has influenced later development; contain elements of architectural design, detail, materials or craftsmanship which represent a significant innovation; or be a fine example of the uncommon.

Recognized Period/Style: It should exemplify specific elements of an architectural period/style, i.e.: Victorian, Revival styles, such as described by *Historic American Building Survey Criteria*, Gingerbread Age (Maass), 76 Boulder Homes (Barkar), The History of Architectural Style (Marcus/Wiffin), Architecture in San Francisco (Gebhard et al), History of Architecture (Fletcher), Architecture/Colorado, and any other published source of universal or local analysis of a style.

Architect or Builder of Prominence: A good example of the work of an architect or builder who is recognized for expertise in his field nationally, state-wide, or locally.

Artistic Merit: A skillful integration of design, material, and color which is of excellent visual quality and/or demonstrates superior craftsmanship.

Example of the Uncommon: Elements of architectural design, details, or craftsmanship that are representative of a significant innovation.

Indigenous Qualities: A style or material that is particularly associated with the Boulder area.

Other, if applicable.

Environmental Significance

The place should enhance the variety, interest, and sense of identity of the community by the protection of the unique natural and man-made environment.

Site Characteristics: It should be of high quality in terms of planned or natural vegetation.

Compatibility with Site: Consideration will be given to scale, massing placement, or other qualities of design with respect to its site.

Geographic Importance: Due to its unique location or singular physical characteristics, it represents an established and familiar visual feature of the community.

Environmental Appropriateness: The surroundings are complementary and/or it is situated in a manner particularly suited to its function.

Area Integrity: Places which provide historical, architectural, or environmental importance and continuity of an existing condition, although taken singularly or out of context might not qualify under other criteria.

Attachment F: Applicant Materials

2334 14th Street
demolition narrative
rev 8-2-16
HIS2016-00191

Owner
Alexander J. Brittin
9136 Vendome Dr
Bethesda, MD 20817

project data
address 2334 14th Street
use residential, duplex
const. date 1920

Contractor
Von's 7 LLC
3445 Penrose Place, Suite # 230
Boulder, CO 80302
contact : Bob VonEschen
bolderbob54@gmail.com
303-668-7620 (cell)

Proposed demolition

100% demolition of an existing 1 story brick home built in 1920. The demolition is also to include removal of an existing attached shed and covered patio area.

Floor Area Of Existing Structures (to be removed)

first floor above ground, finished, circa 1920	1410 sq ft
basement, 100% below grade	784 sq ft
covered porch area	110 sq ft
attached shed, circa 1989	198 sq ft

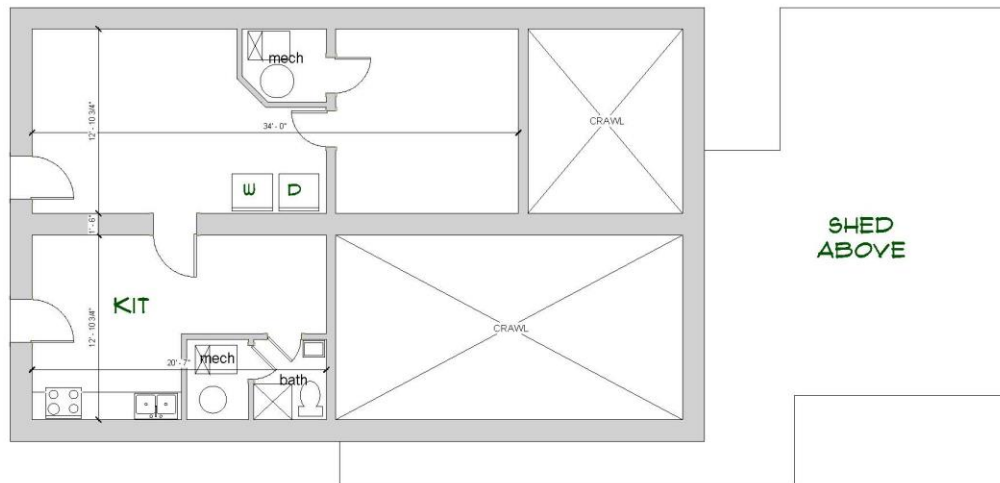
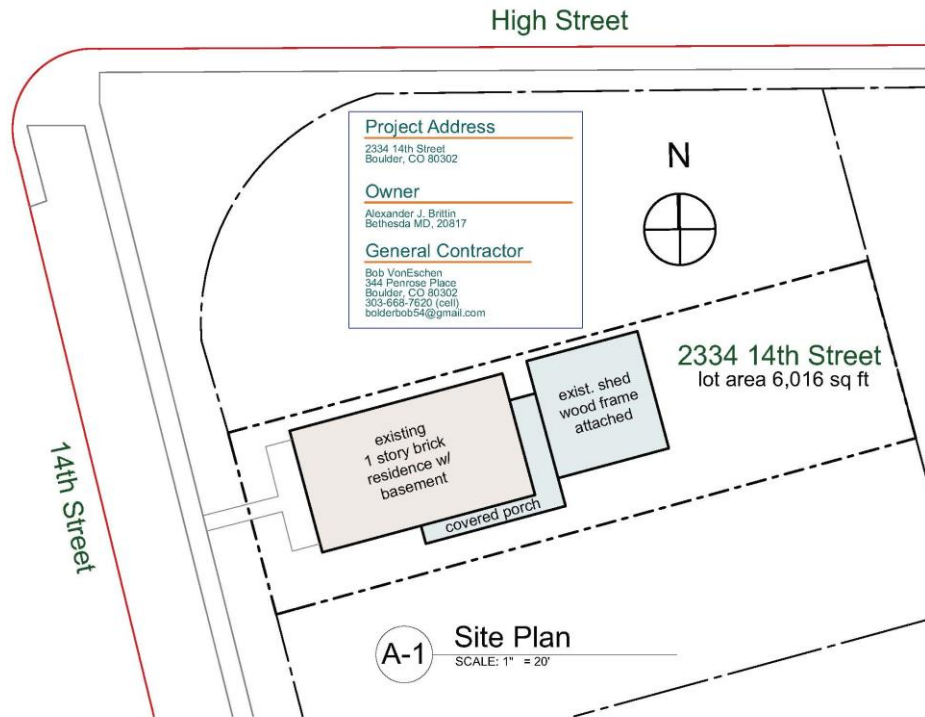
total proposed demolition 2503 sq ft

Field Observations

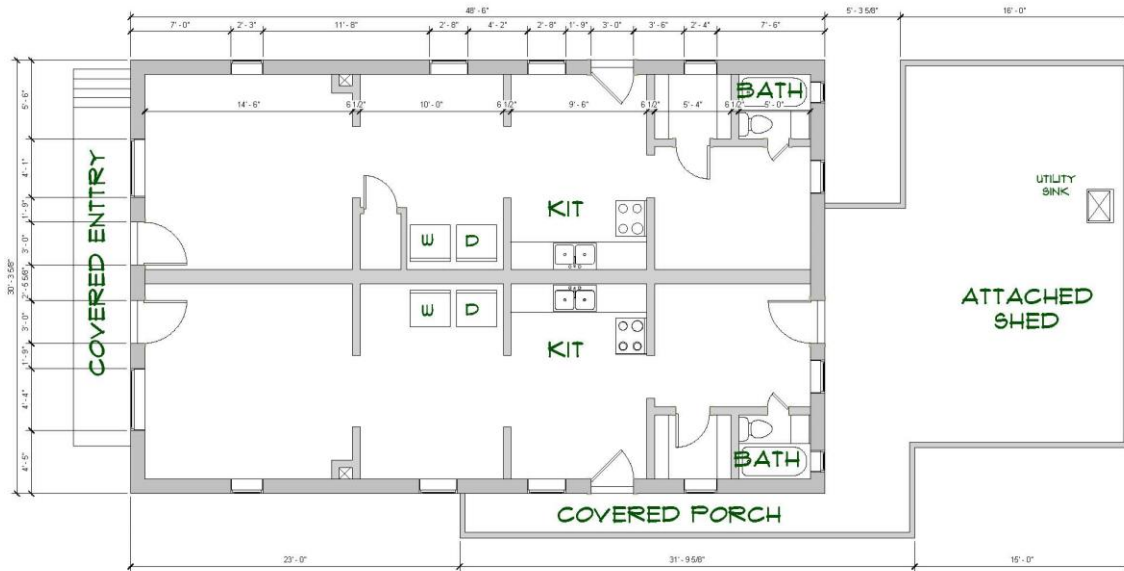
The existing historic portion of the building is a one story brick structure over a stone rubble foundation. The structure is built on a steep hillside in an area known to have unstable soils.

The existing building is in very poor condition and in need of immediate repair. The unreinforced stone foundation and load bearing brick walls above show significant lateral movement and cracking. In several locations the brick wall has bulged over 6" in the horizontal plane and no longer aligns with the foundation below. ALL of the 20 exterior brick openings show signs of structural failure in the headers and/or sills and require repair. The foundation has significant cracks migrating through the stucco finish at approximate 5' intervals for the full perimeter that is observable. Excessive movement of the building has pulled pipes from the floor and cause most roof flashings to fail. This has resulted in significant water damage. Portions of the stone foundation visible behind the stucco show spalling and have 2"-3" thick flakes peeling from the surface. On the primary elevation, almost all of the original front porch front steps, railings and turned wood columns have been removed and replaced with substandard material not suitable for exterior use. Only 2 of the original seven windows on the South side (secondary elevation) have survived. Estimated cost to correct the unstable foundation (not including required repairs to the damaged brick) is over 71% of the buildings value*. This building does not represent a unique example of early Boulder architecture, I found 6 similar structures within 6 blocks of our project.

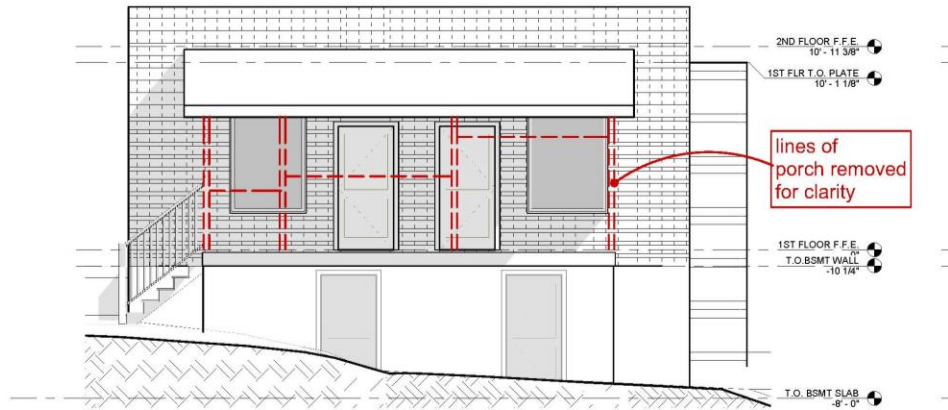
* based on assessed structure value per 2016 Boulder County Tax Records



2 2334 14th St: Exist. Basement Plan
SCALE: 1/8" = 1'-0"



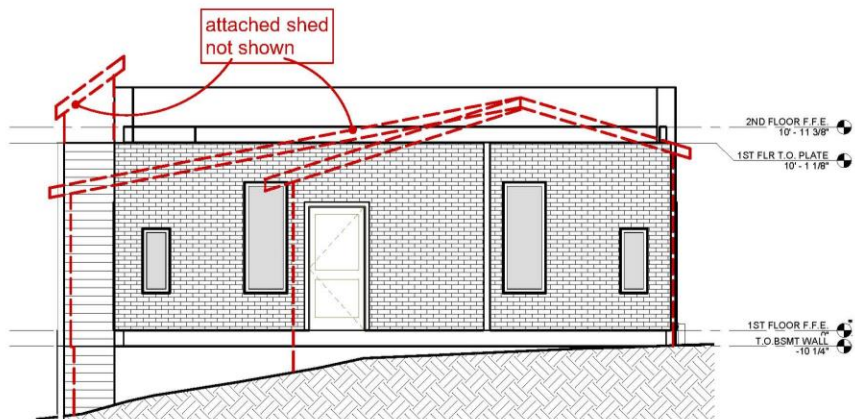
3 2334 14th St: Exist. Main Floor Plan
SCALE: 1/8" = 1'-0"



4

West Elevation

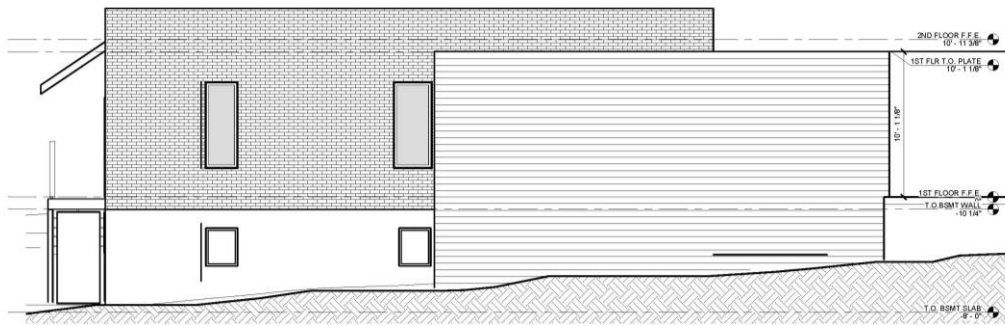
SCALE: 1/8" = 1'-0"



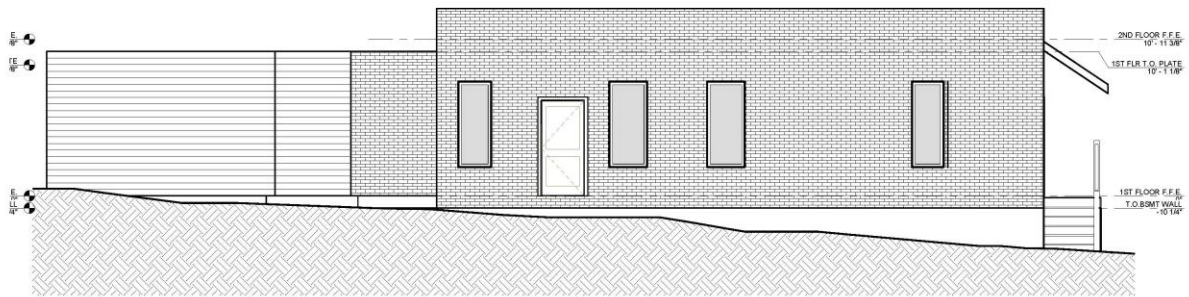
5

East Elevation

SCALE: 1/8" = 1'-0"



6 South Elevation
SCALE: 1/8" = 1'-0"



7 North Elevation
SCALE: 1/8" = 1'-0"



photo 7: windows

original window
is missing

brick header
collapsed

original window
is missing

foundation
failure



photo 8: windows



photo 9: foundation

Structural failure of exist.
foundation wall. This is
typical every 4-5 feet
along both South & North



photo 10: window

aluminum frame
window is not
original



photo 11-12: window & door



photo 13: window

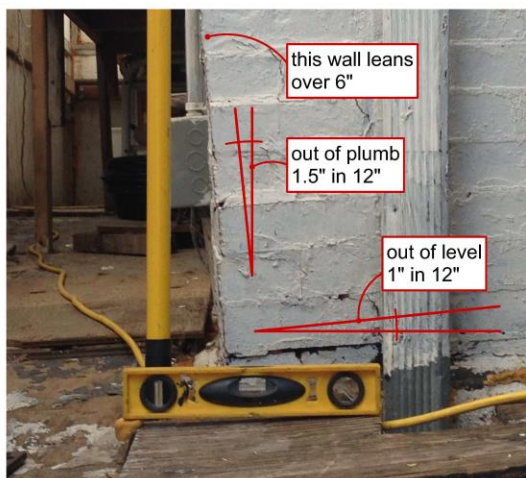


photo 13: brick not plumb or level

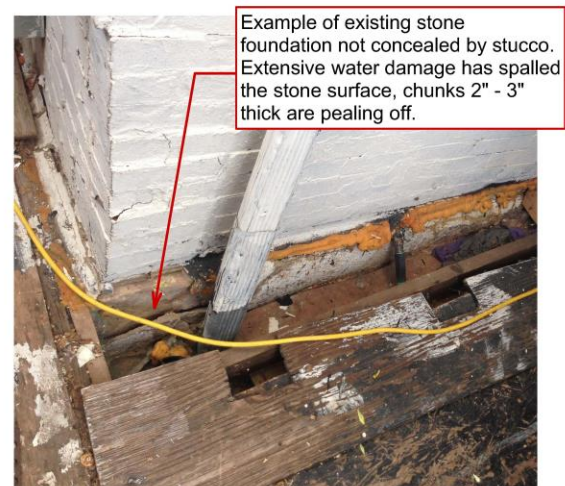


photo 14: typical fnd. damage



original window
missing, opening
filled with 3050 door

photo 15: window opening



structural
failure of
brick at sill
& header

photo 16: window opening



structural
failure of
brick at sill
& fnd below

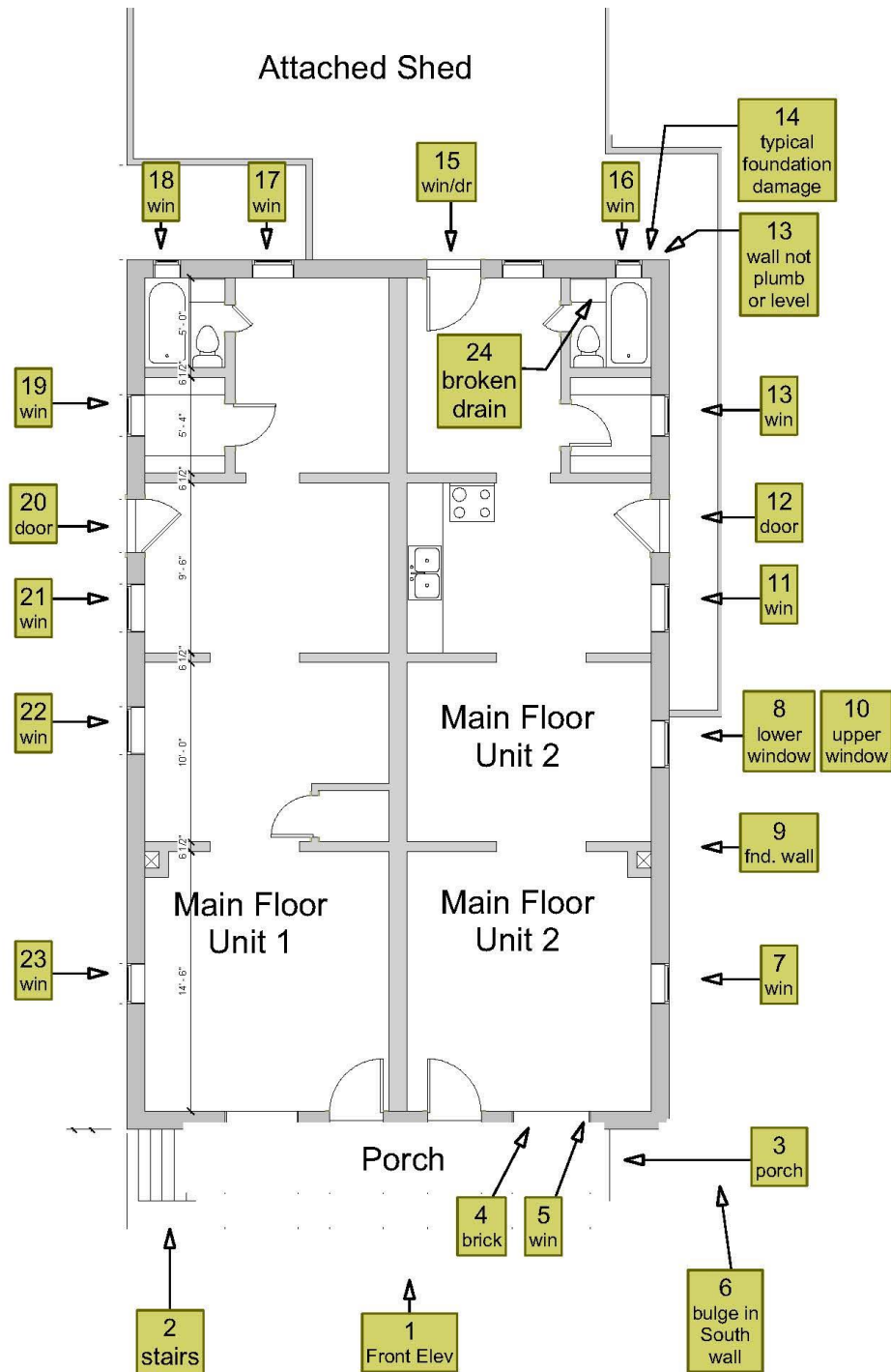
photo 17: window opening



structural
failure of
brick at sill
& header

photo 18: window opening

2334 14th Street: key to exterior photos



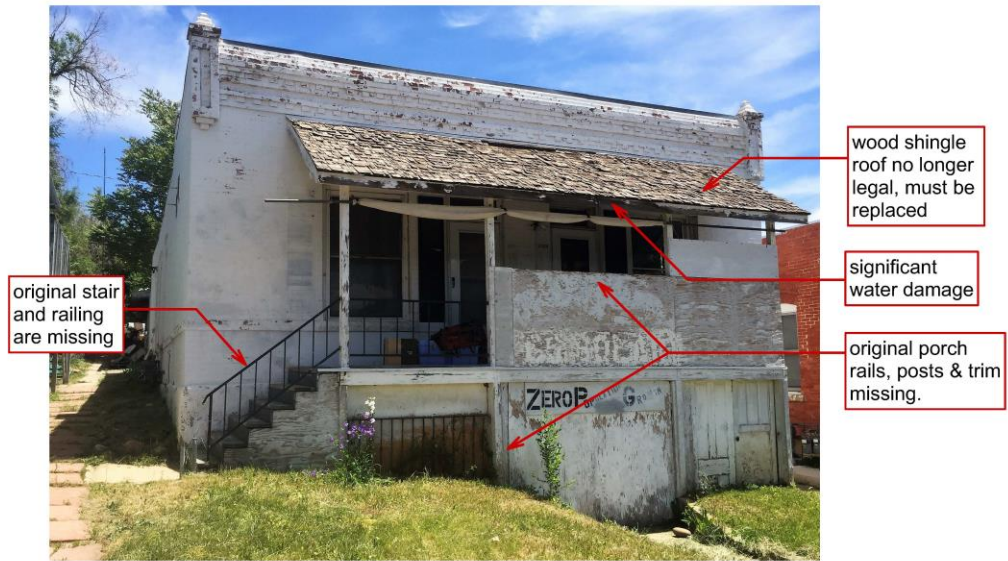


photo 1: Front Elevation



photo 2: Entry Stair

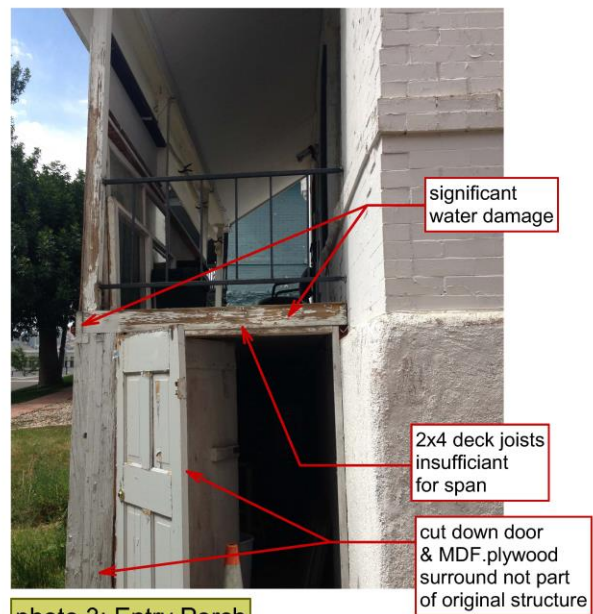


photo 3: Entry Porch



photo 4: front window



photo 5: front window

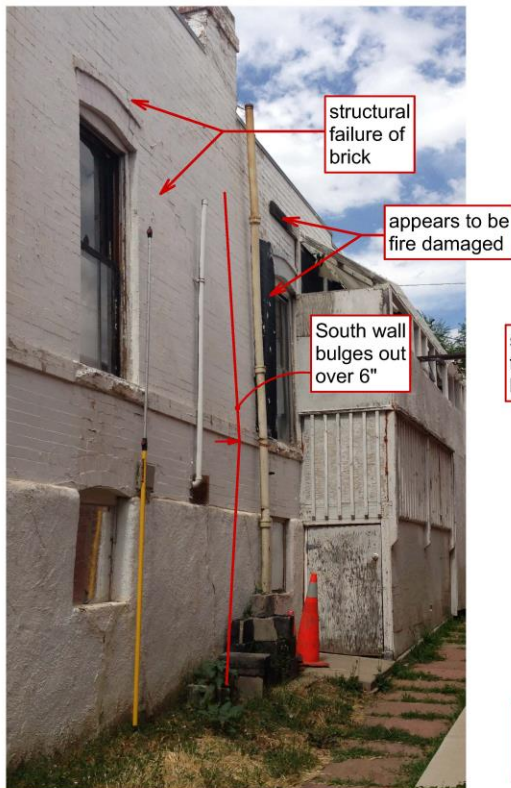


photo 6: bulge in South wall

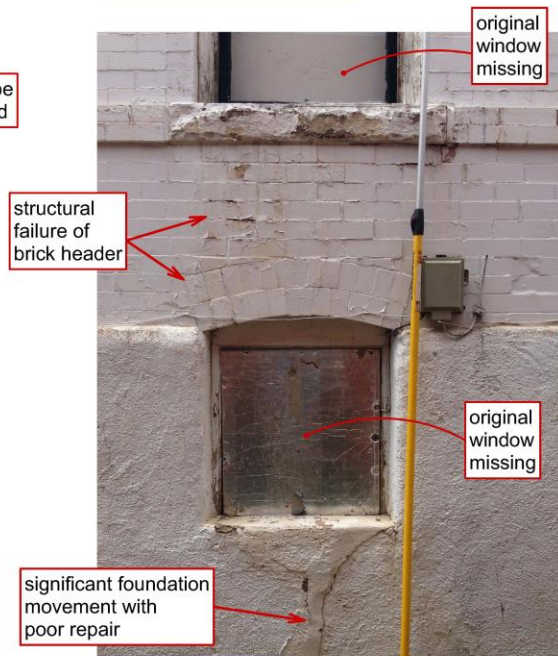


photo 7: windows



photo 19: window



photo 21: window



photo 22: window



photo 20: door

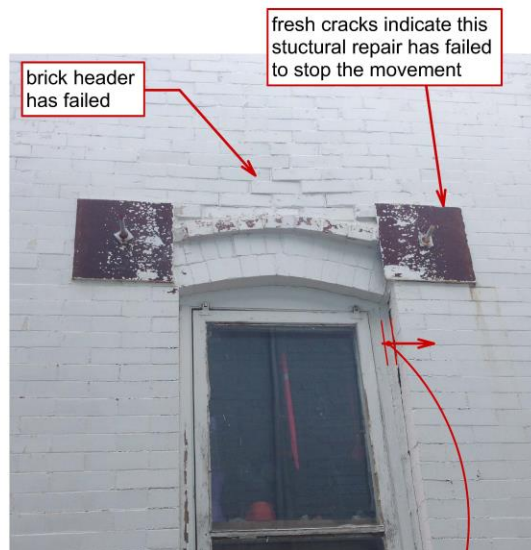


photo 23: window

This corner of the building is leaning outward. Note the 2" gap where the brick has moved away from window frame, this gap extends all the way to the interior.



over 8" lateral shift

This photo shows how lateral movement of the building has caused existing drains to fail. The building has moved horizontally over 8" so that drain lines no longer align with penetrations below. The resulting stress has ripped the pipe from the floor. This damage is typical at ALL mechanical the penetrations into the lower floor or crawl space.

photo 24: broken drain

Summary of Existing Condition: The original structure is a one story brick residence built over an unreinforced stone rubble foundation. The structure is built on a steep hillside in an area known to have unstable soil conditions.

This building has experienced significant movement. In some areas the load bearing exterior brick wall has moved over 6" in the horizontal plane creating an unstable and dangerous condition. Every window or door opening in the exterior brick shows signs of structural failure in the header or sill.

The movement of the building has resulted in significant cracking and numerous locations where the flashing has pulled away from the surrounding material. As a result water has penetrated the brick walls and stone foundation resulting in spalling of both the brick and foundation. The entire foundation must be replaced with a reinforced concrete foundation capable of withstanding the lateral forces created by the steep hillside. Brick walls on the North and South which have areas that bulged out must be upgraded with structural steel reinforcing or be brought into vertical alignment with load bearing elements below. Initial estimates for the foundation repair, not including required repairs to the brick above are estimated at \$1,327 per linear foot x 176 foot of foundation wall = \$ 233,5880 or 71.6% of the assessed value of the structure according to the current Boulder County Tax records.

Only 2 of the original seven windows on the South elevation have survived, but they are severely damaged. 100% of the original porch is gone, the entry stairs, railings and posts have been replaced with substandard materials that are not suited for exterior use. Some portions of the porch roof may have survived, however because the porch is shingled in wood shakes which are no longer allowed it all must be replaced. The existing roof framing is not adequate to meet current code and will have to be replaced along with the shingles.

Similar Properties

1 of 4



2334 14th Street
built 1920
1410 sq ft/unit
structure value \$325,900

proposed demolition



2330-2332 14th Street
built 1910
1410 sq ft/unit
structure value \$475,200

note: This adjacent residence
is an exact copy of our building,
except that it is much better condition.

Similar Properties

2 of 4



2535 5th Street
built 1900
1850 sq ft
structure value \$263,100

Nearly identical floor plan.

Similar Properties

3 of 4



2061 Bluff Street
built 1904
1761 sq ft/unit
structure value \$475,500

similar in size, floor plan
date of construction and
brick detailing. Note: brick
trim at parapet wall is almost
identical to our building.



2107 Bluff Street
built 1925
1408 sq ft/unit
structure value \$331,500

The porch has been modified,
but the rest of the building
is very similar. Almost identical
in size to our building.

Similar Properties

4 of 4



417 Mapleton Avenue
built 1906
1207 sq ft/floor/unit
structure value \$645,400

a two story version
of the terrace house
in a four plex



1419 Mapleton Avenue
built: 1910
1892 sq ft per floor
structure \$599,200

a two story version
of the terrace house
in a duplex

Attachment G: Structure of Merit Materials

MEMO TO LANDMARKS BOARD
FROM STRUCTURES OF MERIT COMMITTEE
SEPTEMBER 6, 1989

We recommend the addition of 4 residential terraces to the list designated in April:

1. 2334-36 14th Street, next door to 2330-2332 14th Street, designated previously. 2 family residence
2. 2014 Pearl (identified as 2012-14 Pearl in some official records) three family or two family and professional office structure.
3. 1515 Spruce. Two story apartment terrace, containing up to 4 apartments at various times.
4. 1734 Spruce. Single family terrace.

All of the structures are listed in the 1913 City Directory so are at least of that age. Assessors cards of 1929 list all of the structures as over 40 years, but that is probably questionable.

We have now identified all of the residential terraces that we can locate in Boulder. We have found only one single family and one additional two story residential terrace.

Early residents included a University of Colorado professor (1515 Spruce), a co owner of the Boulderado Cleaning, Pressing and Barber shop (2336 14), a barber (1734 Spruce), a widow (2014 Pearl) and several occupants whose occupation was not listed.

The mix of occupation and single men (professor) and widows or single women continues in the research done on these four additional terraces.

All of the terraces researched are shown to have stone foundations. A few added garages if property size permitted, but none show a barn or garage in the original assessment visit.

If designated, we will submit completed research prior to the October meeting and request that letters and perhaps a brief ceremony be scheduled for November or December. A standardized research form has been developed by the committee which may be of interest to present owners since it includes architectural information and a brief history of early residents of each terrace.

STRUCTURES OF MERIT
TERRACES

ADDRESS: 1515 SPRUCE

ARCHITECTURAL SIGNIFICANCE: Two story apartment building with four units served by two corner level entry doors. Brick construction, segmentally arched door and window openings. Flat roofed porch over side by side entrances supported by square wood columns. Corbelled brick cornice at parapet, front elevation.

1929 ASSESSOR CARD: reappraised 1945
screened in porch on upper floor
Owners James A and Inez E. Skipp
Built over 40 years
Lot 8, block 123 O.T.
Brick two story apartment house, stone foundation, two stories,
cellar, flat roof, plastered interior.
Garage and floor furnaces added

DIMENSIONS: 36 X 30 , rear porches 12 X 12, front porch 6 X 15

OCCUPANTS:

1913 City Directory

CC Ayer, Professor CU
D.R. Bennett photographer

CURRENT OWNERS:

April 5, 1989

Memo to Landmarks Board
From Structures of Merit Committee

We recommend that the following terrace structures be designated as Structures of Merit:

2059-61 Bluff
2105-07 Bluff
315-17 Canyon
1911-1315 Pearl
835-37 Walnut
2535-37 5th (Mapleton Hill District)
1433-35 13th
2127-31-35 14th
2330-32 14th
1815-21 17th
2017-23 17th
2117-21 18th
2010-14 19th.

Additional research has been done since the report of the committee on November 2, 1988.

The structures listed are all of masonry, one story, with flat roofs. They are important to Boulder because they were early examples of multi family housing. All but three were already built and occupied at the time of the 1913 City Directory.

Unlike terraces in many other communities, Boulder terraces were scattered throughout residential neighborhoods of the time, providing residential housing and some professional and business useage of the address. Lots were generally small and on side streets adjacent to main business streets, although the terraces on Bluff street do not fit this type of location nor does the one on 5th street.

The families occupying the terraces were a mix of owners and renters. Occupations varied from miner to business owners and professional men as well as clerks for downtown businesses. Some single women resided in terraces, with a few operating a business or profession from the address.

One terrace on Bluff has been converted to a single family residence, in all the others residential or mixed use continues today, with few, if any, changes to the exteriors.

Some additional examples of two story terraces may exist, but research is not yet complete on these structures. Only one has been landmarked.

STRUCTURES OF MERIT
TERRACES

ADDRESS: 1433-35 13TH STREET

ARCHITECTURAL SIGNIFICANCE: Brick construction, duplex with flat-arched windows with arched porch entrys and Mission shaped roof parapet. Bracketed lean-to awning roof over front windows.

1929 ASSESSORS CARD:

1949 reappraisal

Owners D.M. and Irma Stocker

Less N 75 ft, lot 6 block 5 Grand View Terrace

Constructed in 1920

Duplex, brick, stone foundation, 1/4 basement, paper roof, plaster interior, hot air heating no garage until 1949 reappraisal

DIMENSIONS: 39 X 48 with interior recess in center of 6 ft, 3 ft front, recess of 12 ft, to 5 ft frontage.

Built in buffet, cabinets, book cases, 2 bedrooms each side.

OCCUPANTS:

CURRENT OWNERS:

STRUCTURES OF MERIT
TERRACES

ADDRESS: 2330- 32 14TH Street

ARCHITECTURAL SIGNIFICANCE: Brick construction, duplex with a shared porch lean-to roof supported by columns with a projected gable, centered segmentally arched window and door openings. Corbelled brick cornice with corner brick finials.

1929 ASSESSORS CARD: reappraised in 1949
John C. Scogland Owner
lot 2 block 10 North Addition
over 40 years old
Duplex, flat or terrace class
Pressed brick exterior, stone foundation, 3/4 basement, tar and gravel roof, flat roof, plaster interior, soft floors, one story floor furnace added 1949 garage

DIMENSIONS: 30 x 47 1/2, FRONT PORCH
Garage shown in 1929 18 X 18'9"
Coal shed in 1929

OCCUPANTS:

1913 City Directory	2330 C.H. Knowles (Cecil P.) clerk, Knight Campbell Music Co 1310 Pearl
	2332 J.T. Miles Joseph T. (Mae C.) clerk, J.M. Pike Boulder Grocery and Meat Market 1223 Pearl

CURRENT OWNERS:

STRUCTURES OF MERIT
TERRACES

ADDRESS: 315-17 CANYON (FORMERLY 315-17 WALNUT)

ARCHITECTURAL FEATURES: Brick construction, duplex with segmentally arched window and door openings. A shared hip roof covers the entrys. Corbelled brick cornice with pilaster and finial decoration.

1934 ASSESSORS CARD:

Block 58 O.T. (Old Town) lot 9 and E. 5 ft lot 8
Age: over 50 years
Brick construction, stone foundation
Plaster interior, soft floors
Owner: Curt Small

DIMENSIONS: 48 x 26 ft , in common front and back porches (23x8,
26x10)
Owner: Curt Small

OCCUPANTS: 1901-02: No 317 Walnut
315 Walnut J.W. Stonehous (Street Index)

1913 City Directory: 315 J.C. Hough (Helen) clerk, J.B. Hiskey (Grocery
and Feed 1121 Pearl)
317 J.D. McLean (Lauretta) Express

CURRENT OWNERS:

STRUCTURES OF MERIT
TERRACES

ADDRESS: 2334-36 14TH STREET

ARCHITECTURAL SIGNIFICANCE: Brick construction, duplex with a shared porch covered by a lean-to roof supported by wood columns. Segmentally arched window and door openings. Corbelled brick cornice with corner brick finials.

1929 ASSESSORS CARD

Owner A.H. and Beatrice Mae Dean
Lot 2 less 40 ft and 30 ft Lot 3, Block 10 , North
Brick, stone foundation, 3/4 basement, later 1/2
tar and gravel roof, soft floors, plaster interior no garage

DIMENSIONS: 30 x 47 1/2
FRONT PORCH REMODELED ON 5/29/57
one bedroom each side

OCCUPANTS:

1913 City Directory

2334 Paul H. Noah (Kathryn R.)
2336 C.F. Seitz (Nellie O)
Boulderado Cleaning and Pressing and Seitz
Bros

CURRENT OWNERS:

STRUCTURES OF MERIT
TERRACES

ADDRESS: 1734 SPRUCE

ARCHITECTURAL SIGNIFICANCE: Single unit terrace apartment. Stucco, segmentally arched window and door openings, flat roofed porch supported by wood columns.

1929 ASSESSORS CARD:

REAPPRAISED IN 1934 AND 1950

Owner: Miriam L. Alcorn

Lot 2 Block 91 East Boulder

Single family residence, brick and stucco over brick, plaster interior, stone foundation, no basement, tar and gravel roof.

DIMENSIONS: 23 x 42 1/2 BAY WINDOW ON EAST 3 x 6, REAR
ADDITION OR EXTENSION (2) 13 1/2 x 10 AND 5 x 10

OCCUPANTS:

1913 City Directory

Joseph Stamm (Ruby) barber, Ray Kennedy
1127 Pearl

CURRENT OWNERS:

STRUCTURES OF MERIT
TERRACES

ADDRESS: 2119-21 18th Street

ARCHITECTURAL SIGNIFICANCE: Brick construction, duplex with a shared low-pitch hipped roof porch over entrys. Segmentally arched window and door openings. Corbelled brick cornice and string course below window sill.

1929 ASSESSOR CARD: reappraised in 1939 and 1949

Owner Mary L. Miller

N 60 ft of lot 12, block 125 Old Town

Over 40 years old

Class of building flat/terrace

Brick exterior, pressed brick, plaster interior, soft floors,
one story, stone foundation, flat tar and gravel roof, no
basement

DIMENSIONS: 29 X 48 with common front 16 X 5 and rear porch
16 X 5

OCCUPANTS:

1913 City Directory 2119 R.W. More (Grace) engineer Hotel
 Boulderado
 2121 James Rutherford (Fannie H.) carpenter

CURRENT OWNERS: Leslie W. and Megan P. Brill
 1727 Spruce
 Boulder 80302

STRUCTURES OF MERIT
TERRACES

ADDRESS: 2010-14 19TH Street

ARCHITECTURAL SIGNIFICANCE: Stuccoed duplex with shaped Mission parapets at front. Separate gabled porches supported by columns on stuccoed piers. Belt course above basement windows.

1930 ASSESSORS CARD: Lot 6 less N 60 ft, Block 89, East Boulder Addition.
Year constructed 1920
Duplex, flat or terrace frame construction, exterior Kellastone, plaster interior, soft floors, one story, concrete foundation, roof prepared paper, 1/4 basement, heating hot air
Owner: O.L. Paxton
DIMENSIONS: 49X36 with separate front porches 8 X 16 and rear porches 7X15.

OCCUPANTS:

No City Directory listing of addresses for 1913. 1916, 1918, 1930.

1936 City Directory	2010 Rudolph A. Hazelgren
	2014 Marion F. Booker

CURRENT OWNER: Mall East Partnership
325 Canyon Blvd.
Boulder 80302

STRUCTURES OF MERIT
TERRACES

ADDRESS: 2535-37 5th Street

ARCHITECTURAL SIGNIFICANCE: Brick construction, duplex with segmentally arched window and door openings. Continuous, shared flat roofed porch over both entrys supported by columns. Corbelled brick cornice.

1929 ASSESSOR CARD: REAPPRAISED IN 1945

Maxwell's Addition, Amended
25-1N-71

owners:
Henry A. and Neoma
M. Beltz

N2 lot 1 and 2, n2 of E 19 ft lot 3
Lot 3 Block 10
Over 45 years old

Duplex, brick, plaster interior, soft floors, one story, stone foundation, no basement, roof prepared paper

DIMENSIONS: 50 x 37 WITH 7 x 46 FRONT PORCH
1938 Building Permit garage added 28 X 20

OCCUPANTS:

1913 City Directory

2535 Warren Giles (Bessie) miner
2537 S. D. Emery (Emma) miner

CURRENT OWNERS: Kenneth E. and Kathleen M. Foelske
553 Concord
Boulder 80302

STRUCTURES OF MERIT
TERRACES

ADDRESS: 835-37 Walnut

ARCHITECTURAL SIGNIFICANCE: Stone with stone lintels over openings.
Corbelled stone cornice. Originally duplex. No porch roof existing.

1934 ASSESSORS CARD: Lot 10 Block 63 West Addition
Over 40 years old
Duplex
Two front porches with shed roof, posts at ground
level, located between single windows on
either side.
Prepared paper roof (flat)
Stone Construction, stone foundation
Plaster interior, soft floors
Toilets on porch
No garage or shed

Dimensions 43 X 30, front porch 7 X 23, two rear porches of
25 sq ft each.

Owner: Alfred Burgess estate

Reappraised in 1949

Rear addition in 1955 by Francis and Edna Sorber

OCCUPANTS:

1913 City Directory	835 Charles Casner (Maggie) 837 Vacant
1916 City Directory	835 H.F. Cummins 837 James Pothiesil
1918 City Directory	835 E.F. Milnson 837 C.N. Meyers
1930 City Directory	835 Vacant 837 Vacant
1936 City Directory	835 Mrs Mamie E. Cochran 837 Pete Della Bella

CURRENT OWNER: Mountains Downtown
2336 Canyon Bld Suite 101
Boulder 80302

STRUCTURES OF MERIT
TERRACES

ADDRESS: 1911-13-15 Pearl

ARCHITECTURAL SIGNIFICANCE: Brick construction, triplex with separate lean-to porch roofs at entrys. Segmentally arched window and door openings. Stone window sills with a brick string line at the sill line.

1934 ASSESSOR CARD RE-APPRAISED IN 1950 :

Lot 7 Block 89 East Boulder
Age: over 40 years
Owen L. Paxton owner
Building Type: Flat or Terrace
Pressed Brick stone foundation prepared paper roof
Plaster walls, softwood floors
1950: new private garage 26x42 Frame, cement foundation, dirt floor, prepared paper roof

OCCUPANTS:

1913 City Directory	1911 Gerry S. Matthews (Carrie) optician, office at residence 1913 Vacant 1915 Vacant
1916 City Directory	1911 John Hays 1913 no listing 1915 H.B. Millard
1918 City Directory	1911 C.W. Farrell 1913 Vacant 1915 S.N. Johnson
1930 City Directory	1911 Vacant 1913 Mrs Rosa B. Clifford 1915 Vacant
1936 City Directory	1911 Edward Heller 1913 Mrs Rosa B. Clifford 1915 Vacant

CURRENT OWNER: Mall East Partnership
325 Canyon Blvd
Boulder 80302

STRUCTURES OF MERIT
TERRACES

ADDRESS: 2127-31-35 14th

ARCHITECTURAL SIGNIFICANCE: Brick construction, triplex with circular arched porch entrys and eliptically arched window heads. Corbelled brick corice and pilasters expressed along front elevation.

1929 ASSESSORS CARD:

John D. Gillaspie, owner
Lot 1 Block 121 O.T.
Age: over 40 years
Pressure brick, stone foundation, tar and gravel roof
3 apartments
Plaster interior, softwood floors

DIMENSIONS: 78X28 ft with 3 recessed individual porches (6 x10 for 2 and 12x 6 for 3rd) rear extensions to building, recessed in between apartments apx 10x12 with individual rear porches of 8x4 and 10x4 (2).

UPDATE: 1950 12 X 18 CELLAR NO GARAGE

OCCUPANTS:

1913 City Directory no entry of 2100 block of 14th Street
goes from 1900 to 2300 block

1916 City Directory 2127 C.E. Havell
2131 M.O. Johnson
2135 Mrs Ellen Ingrem

1918 City Directory 2127 W.E. Ellis
2131 Agnes O'Day
2135 Mrs Ellen Ingrem

1930 City Directory 2127 Wayne D. Calverts
2131 Arthur A. Wickstrom
2135 Mrs Louise B. Nelson

1936 City Directory 2127 John G. Collins
2131 Mrs Pearl Brosius
2135 Mrs Louise B. Nelson

Current Owner: John D. Gillaspie (deceased) Carolyn
4365 Caddo Parkway
Boulder 80303 494-7460
Daughter: Carol Elliott
3100 Fremont 80302

STRUCTURES OF MERIT
TERRACES

ADDRESS: 2107-09 Bluff (at present 2105-07 Bluff)

ARCHITECTURAL FEATURES: Brick construction, duplex with segmentally arched window and door openings. Separate porch lean-to roofs supported by columns with a projected gable centered. Corbelled brick cornice with finials along parapet at front.

1929 ASSESSORS CARD:

Lot 12 Block L Widners North	ID # 7536
Year constructed: before 1911	
Class of Building: Terrace	Amelia Thales (Thades)
Brick construction with stone foundation	Henry Erks (Freda)
Plaster interior with soft floors	

DIMENSIONS: 44x32 ft. individual front porches (16x5 ft)

OCCUPANTS:

1901-02: No 2107
2109 Mrs J. Phillips (source 1901-02 Street Address Index
prepared by Mary McRoberts)

1913 City Directory	2107 Vacant
	2109 Olaf W. Johnson (Hilma) Miner

1916 City Directory	2107 Vacant
	2109 Vacant

1918 City Directory	2107 J.A. Berg
	2109 Mrs G.H. Arbenz

1930 City Directory	2107 Vacant
	2109 Vacant

1936 City Directory	2107 George T. Black
	2109 Frank C. Hackenberg

PRESENT OWNERS: R. Stuart Naegele and Richard M. Lentfer
2107 Bluff Street
Boulder 80302

STRUCTURES OF MERIT
TERRACES

ADDRESS: 2059-2061 Bluff

ARCHITECTURAL FEATURES: Brick construction, duplex with segmentally arched window and door openings. Continuously shared flat-roofed porch over both entrys supported by columns. Corbilled brick cornice.

1929 ASSESSOR CARD: Flossie Harvey
Charles Simpson (Ruth M.)

Lot 10 Block L Widners North
Class of Building: Terrace
Brick construction, stone foundation
Plaster interior, soft floors

Dimensions: 44x42 ft with 2 individual rear porches (15x5 and
16 1/2 x 5) single front porch 12 x 8

1978 ASSESSOR CARD:

1905 year of building retaining wall on front of
property
2-25-85 single family residence use

OCCUPANTS:

1913 City Directory	2059 George W. Worthington 2061 R.A. Reynolds (Leona A.)
1916 City Directory	2059 Vacant 2061 C.F. Renning
1918 City Directory	2059 J.N. Harns 2061 J.W. Cleveland
1930 City Directory	2059 Mrs Christina Nelson 2061 Lester R. Walters
1936 City Directory	2059 Vacant 2061 Frank O. Nelson

PRESENT OWNERS: Fred C. and Susan Cooper
2061 Bluff Street
Boulder, Co 80302

STRUCTURES OF MERIT
TERRACES

ADDRESS: 1815-21 17TH STREET

ARCHITECTURAL SIGNIFICANCE: Brick construction, duplex with flat-arched windows with arched porch entrys and Mission shaped roof parapet. Bracketed lean-to awning roof over front windows.

1934 ASSESSOR CARD :

Owner OT Bottoms
E. 10 ft of N. 60 of lot 11
N. 16 ft of lot 12
N. 5 ft of S. 80 ft of E 36 1/2 of 12 in Block 38
Age: over 50 years
Class: Duplex
Brick cement foundation (stone ?)
Plaster interior 2 fireplaces
Flat roof

DIMENSIONS: 49 1/2 x 50 with individual corner front porches
(10 1/2 x8, 11 1/2 x8), and 5x 9 individual rear
corner porches) and rear extension adjacent to
porch of 13 1/2 x 9.

OCCUPANTS:

1913 City Directory	1815 Mrs Ida J. Rand (widow of Harvey) 1821 William C. Browning (Margaret) traveling salesman
1916 City Directory	1815 Mrs Ida J. Rand 1821 H.V. Hartsough
1918 City Directory	1815 Mrs Ida J. Rand 1821 Mrs M.A. Kluss
1930 City Directory	1815 Joseph H. Hardy Joseph H. Smart 1821 Richard L. Blackmarr
1936 City Directory	1815 James O. Sowden 1821 Charles L. Piermort

CURRENT OWNER: Virginia W. Patterson
1552 Chambers Road
Boulder 80303

STRUCTURES OF MERIT
TERRACES

ADDRESS: 2014 Pearl Street

ARCHITECTURAL SIGNIFICANCE: stuccoed duplex or triplex without porch or awning covering front elevation. Finial decorations at parapet, front elevation.

1938 ASSESSORS CARD:

Terrace listed as 2012-14 Pearl

W 21 1/2 ft of lot 5

E 20 ft of lot 6 Block 75 O.T.

Brick and Stucco, plater interior, hardwood floors, stone foundation, garage in 1950 no basement, 3 apartments

OCCUPANTS:

1913 City Directory

2012 Vacant

2014 Agnes Conner, widow of John

CURRENT OWNERS:

STRUCTURES OF MERIT
TERRACES

ADDRESS: 2017- 2023 17TH STREET

ARCHITECTURAL SIGNIFICANCE: Brick construction, duplex with circular arched porch entrys and eliptically arched window heads. Corbelled brick cornice and pilasters expressed along front elevation.

NO ASSESSOR CARD

OCCUPANTS:

1913 City Directory	2017 L.E. Burgess (Charlotte) Burgess Drug 2023 D.W. Maupin
1916 City Directory	2017 L.E. Burgess 2023 L.W. Thayer
1918 City Directory	2017 no listing 2023 L.W. Thayer
1930 City Directory	2017 Mrs Charlotte S. Burgess 2023 Belle Baker, music teacher
1936 City Directory	2017 Mrs Charlotte S. Burgess 2023 Mrs Sylvia Ferguson

CURRENT OWNERS: Ronald and Micheline Rudzinski
5310 Sundial Place
Boulder 80301